



Te Aroha Borough Council.
Building Permit.
13 Barclay
Avenue

Film 0522



Permit as soon as possible please.
Levante to start building.

Office Ref. 01554.7

TE AROHA BOROUGH COUNCIL

APPLICATION FOR PERMIT, LICENSE OR WORK REQUIRED
TO THE BOROUGH ENGINEER.

I hereby apply for:

- (a) A permit or license to carry out the building, drainlaying, plumbing scaffolding, street signs, or other works detailed below.
- or (b) ~~A water connection, sewer connection, footpath and channel crossing, inspection, or other works detailed and to be undertaken by the Council.~~

At the property owned by D.M. Brunetta
and occupied by D.M. Brunetta
being house 5829 lot 2 block _____
deposited plan reference 5829 in 13 Barclay Ave Street.

According to the plans, elevations, specifications, etc., deposited in duplicate herewith.

The permit, license or works are required for the purpose of Erection of dwelling

Estimated Costs:

Building _____
Plumbing _____
Drainlaying _____
Other Works _____

Total £ 2300

Signature of Applicant D.M. Brunetta

Address 13 Barclay Ave.
20 Koromiko St.

Works Approved.

Inspector _____

Borough Engineer _____

Fees £ 10.10.0

Receipt No. 6066
Date. 10.10.62
Initials. JH

Permit No. 01554.7
Date issued. 10/10/62
Initials. EL

SPECIFICATION OF WORK AND MATERIALS REQUIRED IN THE ERECTION
OF A RESIDENCE IN BRICK-VENEER FOR D.M. BRUNETTI, TE AROHA.

GENERAL: All workmanship and materials shall conform to N.Z. Standard Code of By-Laws for dwelling houses and with the Local Body By-Laws.

The usual conditions of contract to apply, work shown and not specified and vice versa shall be carried out as if it were both specified and shown. All work obviously necessary for the proper completion of the job in a thorough and workmanlike manner to be carried out at no extra cost to the Owner.

All workmanship and materials shall be to the satisfaction of the Property Supervisor.

PERMITS: The Contractor shall give all notices required by the Local Body, and obtain necessary permits. All permits and fees shall be paid by the Contractor.

INSURANCES: The Contractor shall insure with an approved Company for the full insurable value the building while under construction, and until handed over to the Owner. The Contractor shall keep all men employed on the job fully covered against accident while working.

MATERIALS: All materials, other than that agreed to be supplied by the Owner, of every description necessary to complete the job shall be supplied by the Contractor. All plant and labour shall be supplied by the Contractor.

SITE: The Contractor shall visit the site and ascertain the nature and extent of the work, the rights which may be interfered with, and any other matter or thing which may influence the making up of a tender, or the carrying out of the work in its entirety.

SETTING OUT: The Contractor shall be held responsible for the setting out of the work, and he shall be required to make good at his own expense any errors which may occur. Figured dimensions are to be taken in preference to scale.

CLEARING UP: Upon the completion of the contract, remove all rubbish caused by the operations of any trade, and generally leave the whole site clean and tidy. All off-cuts and debris shall be removed from beneath the floor.

EXCAVATIONS: Excavate as required for all site levelling, foundations, footings, posts, blocks, walls etc. to the various depths, levels and grades required for the building and its appurtenances.

FILLING IN: Fill in and thoroughly consolidate around all piles, foundation walls, and footings immediately after stripping the boxing.

HARD CORE FILLING: Hard Core filling shall be composed of bricks, old Portland Cement concrete, stone or other hard substance, all broken to a maximum size of 3". Before concrete is poured, the hard core shall be thoroughly consolidated and the surface blinded with fine broken stone.

CONCRETE: All aggregates shall consist of natural sands and gravels. They shall be hard, strong and durable, and shall be clean and free from vegetable matter, earthy or adherent coatings.

CONCRETE MIX: Concrete shall be mixed in the proportion of 1 part cement to 6 parts shingle. Concrete to be reinforced shall be mixed in the proportion of 1 part cement to 5 parts shingle.

FORM WORK: When constructing the form work, form all openings, chases etc. necessary to accommodate air vents, flashings, wastes, and vent pipes.

CONCRETE PILES: 8" x 8" on 10" x 10" footing. Set piles at 4'6" c.c. in rows 6'0" c.c.

Set No.8 galv. wire ties to all pile and pier heads to tie sleepers.

FILLING: Steps and chimney foundations may be hard filled as shown.

BRICKLAYER AND PLASTERER.

PLASTERING: Using compe of 1 - 3 cement and sand, plaster porch floors, steps, and hearth to a smooth surface with a wooden float. Tread surfaces 2 - 1 compe. Leave job clean and tidy on completion.

BRICK WORK: Lay bricks in approved manner, complete with wire ties every fifth row and expanding metal reinforcing every third row. Ensure that vermin proofing is placed in position, and is clear of all compe and brick chips on completion of work. Bricks to be pointed in colour approved by Owner.

CARPENTER AND JOINER.

SLEEPER PLATES: Sleeper plates to be 4 x 3 Heart Rimu or Matai, set on edge, halved together at all joints, and all joints to be made over a pile. Lay a strip of Malthoid Dampcourse $4\frac{1}{2}$ " wide under all plates where in contact with piles. Staple wires to hold plates.

FLOOR JOISTS: Floor joists to be 5 x 2 Heart Rimu spaced at not more than 18" c.c., scribed to an even surface and double nailed to sleepers. Trim for hearth and fix double joists under partitions.

FRAMING: Framing to be 4 x 2 Rimu for all wall plates, studs, ceiling joists and rafters. Trimmers over openings up to 4'6" to be 4 x 3 plus 1" extra in depth for each additional 2' of opening. All others 4 x 2.

WALL PLATES: To be in long lengths, halved together at all joints and angles, and checked to receive studs.

STUDS: To be cut to make rooms 8'2" between floor and ceiling. Opening studs 4 x 3. Studs to be spaced at not more than 18" c.c. and checked to receive trimmers. Take all wall framing to an even width. Trim for all openings.

BRACE: Brace all walls where necessary to make a perfectly rigid job, with 6 x 1 sunk flush and well nailed.

DWANGS: Dwangs of 2" thickness to be fixed in walls and ceilings where necessary to take ends and joints of wallboard. Dwangs in partition walls to be taken to the same thickness as studs. Three rows to be fixed at 2'0" c.c. in walls, and row at bottom for skirting.

CEILING JOISTS: Ceiling joists to be fixed at not more than 24" c.c. and double nailed to plates.

STIFFENERS: All rooms over 8' wide to have a 4 x 2 on edge over centre of room, this to be fixed top side ceiling joists - 5 x 2 over 10' wide, 6 x 2 over 12'.

RAFTERS: Rafters to be set at 3'0" c.c. and cut to form roof as shown on plan, 20 degrees pitch, supported and braced where possible for partitions to 4 x 2 under-purlins to make a rigid job. Rafter ends to be cut to form eaves as shown on plan. Form 24" overhang as shown.

RIDGES: 6 x 1, hips 6 x 1, valleys 6 x 1 $\frac{1}{2}$, valley boards 6 x 2.

SOFFIT LINING: $\frac{3}{4}$ " Flat "Duroc". Angles finished with 1 $\frac{1}{2}$ " scotia inside and $\frac{1}{2}$ " quad at fascia. Flat round on joints.

ROOF: Roofing to be corrugated iron, laid on D.P.C. Building paper and fastened with L.H. nails, lapped 9" at ends, 1 $\frac{1}{2}$ rolls side cover. Ridging P.G. Iron lead edged. Valleys, spouting, downpipes P.G. Iron.

GUARANTEE: The Roofing contractor shall supply the Owner with a satisfactory guarantee in respect of the workmanship and mat. in the roof for a period of not less than two (2) years.

FLOORING: All main floors to be laid with 4 x 1 T. & G. R.D.A. Tensilised flooring tightly cramped and double nailed, joints to be scattered. On completion of job, i.e. after all trades are finished, sand off floor and leave ready for oiling and stopping.

LINING: To be Gibraltar board throughout for walls. All nail holes shall be stopped and all angles and joints shall be finished flush, smooth and true.

JOINERY:

WINDOWS: Window frames to be Heart Rimu or Mahoe, hand dressed, rebated, weather grooved, and put together in the best tradesmanlike manner. All joints to be primed. Sills to be cut of 8 x 3, jambs and heads 1 1/2, mullions 4 x 3. Sashes to be 2" Redwood, cedar, or clear oregon, moulded, hand dressed and put together in the best tradesmanlike manner.

GLASS SIZES: Louvres 20" blades, Twolights 32"x20"x12", Threelights 32"x32"x12" Picture Light 30"x20", Single Light 32"x20". Fasten all hinged sashes with 14" chrome casement stays.

DOORS: Doors to be as shown glazed. All internal doors to be flush panel 6'6" x 2'8" Wardrobes, W.C. and bathroom 6'6" x 2'2". All hung with 1 1/2 rebated jambs with 3 - 3 1/2 A.C. L.P. Butts. Wardrobes and linen cupboard doors etc. to be fastened with latchsets and half furniture. All others with locksets with matching full chromium furniture; to the value of 15/- per set. Front door Chrome Night latchset, also latch.

CUPBOARDS: Framed up with 5 x 1 dressed and put together in approved tradesmanlike manner. All doors to be flush type of core board. Cupboard doors to be hung with 2 - 2 1/2 butts and fastened with "Sunny" Flush catches. 3" toespace under all cupboards. Build in ventilated foot safe where shown, slatted shelves. Build in sink and bench cupboard where shown. Bench tops to be covered with Formica, Sink to be stainless steel. Build in floor to ceiling linen cupboard and airing cupboard with slatted shelves. Wardrobes to have shoe shelves, hat shelves, coat hanger rods. Build in shaving cabinet in bathroom.

SKIRTINGS AND ARCHITRAVES: Skirtings to be 3/4" Bulnose, neatly mitred at external corners, and scribed to floors. Fit to all doors and window frames, 2 1/2" splayed architraves. All finishing timbers to be Heart Rimu and hand dressed.

ELECTRICIAN.

Supply and install complete with mains, lamps, shades, switchboard etc:-

Two (2) Porch lights.

Eleven (11) Internal lights, ceiling type fixture.

Nine (9) Heat points.

Plus point for stove, and cylinder.

All ceiling roses to be centrally situated generally and switches where directed.

Wire in range and cylinder.

Heat points where directed. Switches and points generally 4'6" from floor, and all flush type.

Supply and fit up ready for use Electric hot water cylinder 40-gallon, lagged, cased and complete with thermostat element etc.

All workmanship and materials to be to the satisfaction of the Inspector.

PAINTER AND PAPERHANGER.

Prime all exterior woodwork before it is fixed and on completion of job stop all nail holes and other imperfections, and give all two good coats of linseed oil and lead paint to approved colour. Seal "Duroc" Soffit and paint as for woodwork. Also paint spouting and downpipes.

INTERIOR: Stain to approved tone all interior woodwork usually done, such as doors, windows, mouldings, window boards, etc., all floors except kitchen and bathroom. Stop with suitably coloured putty, give a coat of knotting and finish with High Gloss Varnish of best quality. Floors are to be stopped and finished as above.

Kitchen, bathroom and W.C. to be sealed on lining. Stop and prime with two enamel undercoats and finish in two tones to approval with High Gloss Petrifying Enamel. Finish woodwork and doors etc. as shown. Solid stop any imperfections before enamelling.

All other rooms, hall, passage, wardrobes, coat recess, etc. to be papered with paper to be selected by Owner, 6/- per roll, lounge 10/- per roll.

All surfaces to be papered to be given a coat of size before the paper is hung.

Leave job clean and tidy on completion.

PLUMBER AND DRAINLAYER.

Supply and fit up ready for use the following:-

- One (1) Stainless steel sink unit.
- One (1) Set of two concrete tubs.
- One (1) Basin in porcelain.
- One (1) 5'6" bath in cast iron porcelain enamelled.
- One (1) W.C. pan complete.
- One (1) 40-gallon supply tank in roof.

Supply and fit up ready for use all necessary copper pipe for hot and cold water.

Carry water from supply to a hose tap at front and at rear of house and to cylinder and valve.

Run cold water to sink, W.C., basin, bath, tubs.

Run hot water to bath, basin, sink and both tubs.

All taps to be chrome and marked "HOT" and "COLD".

Cold water to be carried in $\frac{1}{2}$ " pipe - hot water in $\frac{3}{4}$ ".

Supply and construct septic tank and effluents.

Supply and fit up all necessary 6lb lead wastes, and run waste to 4" glazed socketed earthenware drain connected to Septic tank.

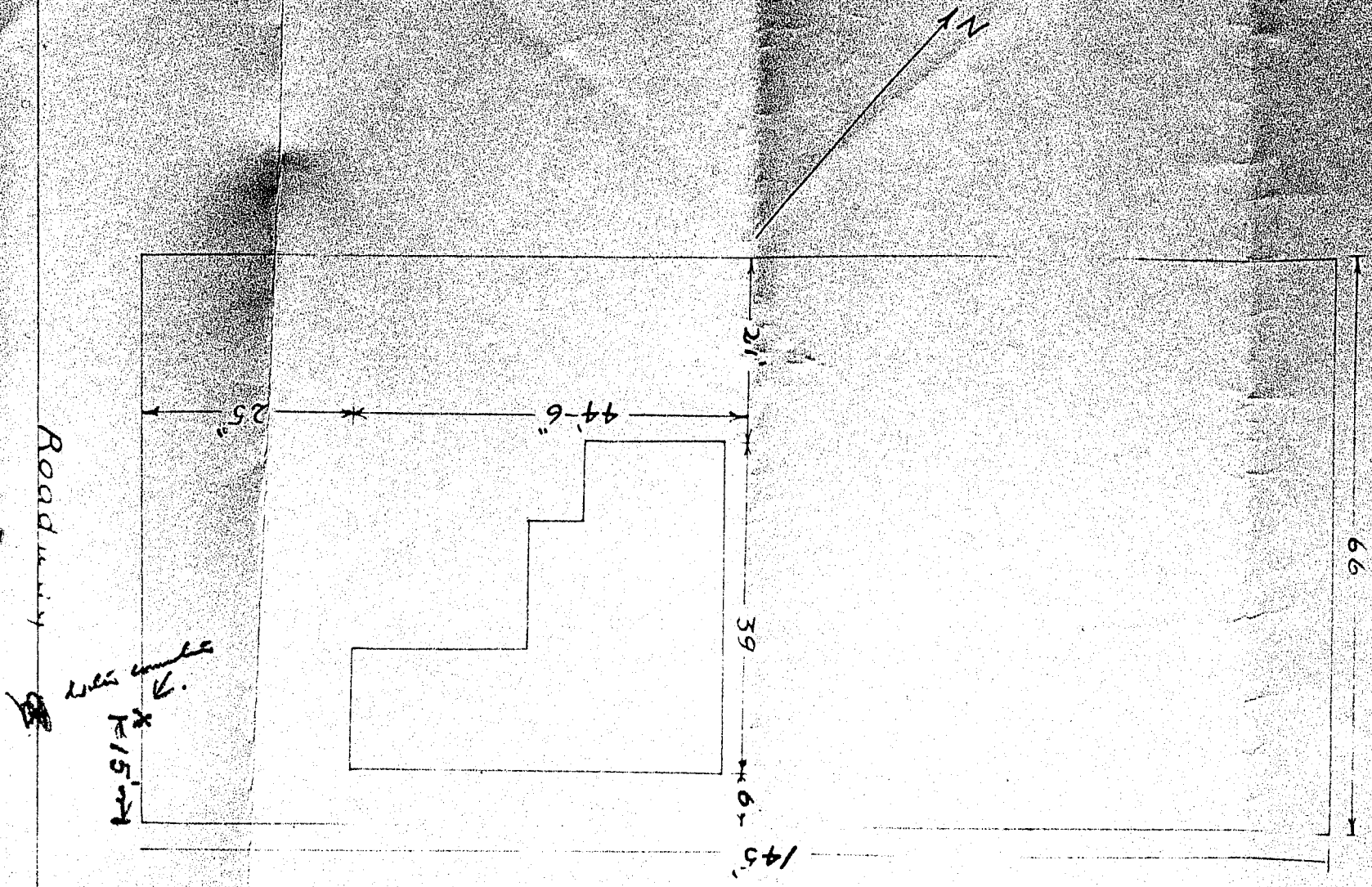
All drainage to be complete with all necessary gullytraps, vents and inspection plates.

The whole of the drainage to be to the satisfaction of the Health Dep. Inspector.

Supply and fit up ready for use 24 gauge P.G. Iron $\frac{1}{4}$ " round spouting fixed with galv. spouting brackets, set at 3'0" c.c. Set to give fall to downpipes.

Supply and fit up all necessary flashing for chimney etc. including galv. iron sill trays.

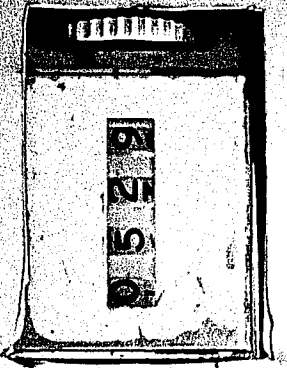
Set up stacks of downpipes and lay drains at outlet. Drains to take storm-water to soak pits 3'0" x 3'0". Rubble filled with 6" of soil over. Pit to be not closer than 6'0" from building.



SITE PLAN

Scale $\frac{1}{2}" = 1ft$ | 31-8 60

D.M. BRUNETTI



Office Ref.

TE AROHA BOROUGH COUNCIL

APPLICATION FOR PERMIT, LICENSE OR WORK REQUIRED

TO THE BOROUGH ENGINEER,

I hereby apply for:

- (a) A permit or license to carry out the building, drainlaying, plumbing, scaffolding, street signs, or other works detailed below.
- or (b) A water connection, sewer connection, footpath and channel crossing, inspection, or other works detailed and to be undertaken by the Council.

At the property owned by E. M. & S. A. Brunette
and occupied by Mrs S. H. Brunette
being house, lot, block
deposited plan reference in Street.

According to the plans, elevations, specifications, etc., deposited in duplicate herewith.

The permit, license or works are required for the purpose of

Building (approx.)

Estimated value of finished works:

Building 300-0-
Plumbing
Drainlaying
Other works

Total £

Signature of Applicant Mrs Brunette

Address 13 Barclay

Works approved

Inspector. 1 1

Borough Engineer. 1 1

Fees £ 10/-

Receipt No. 1590

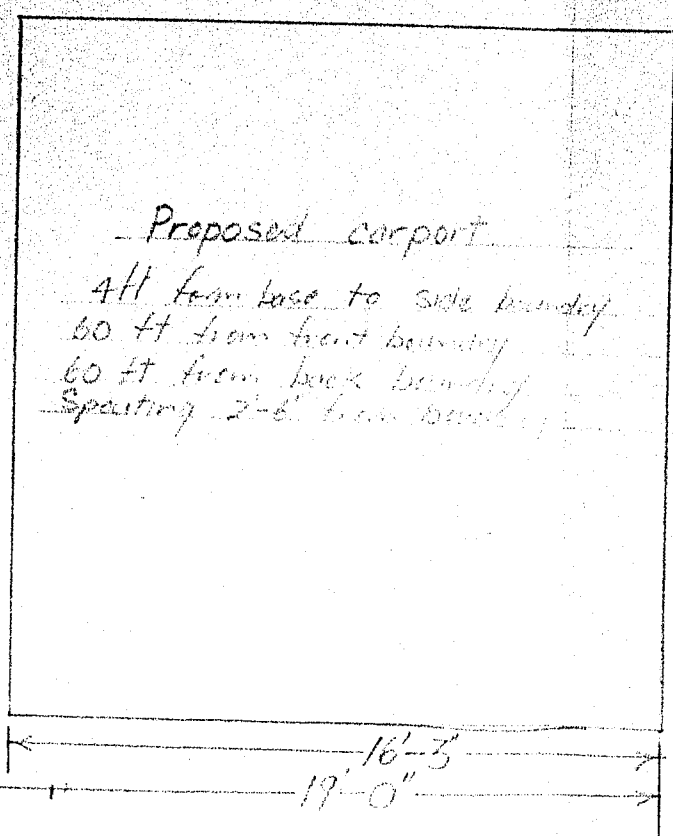
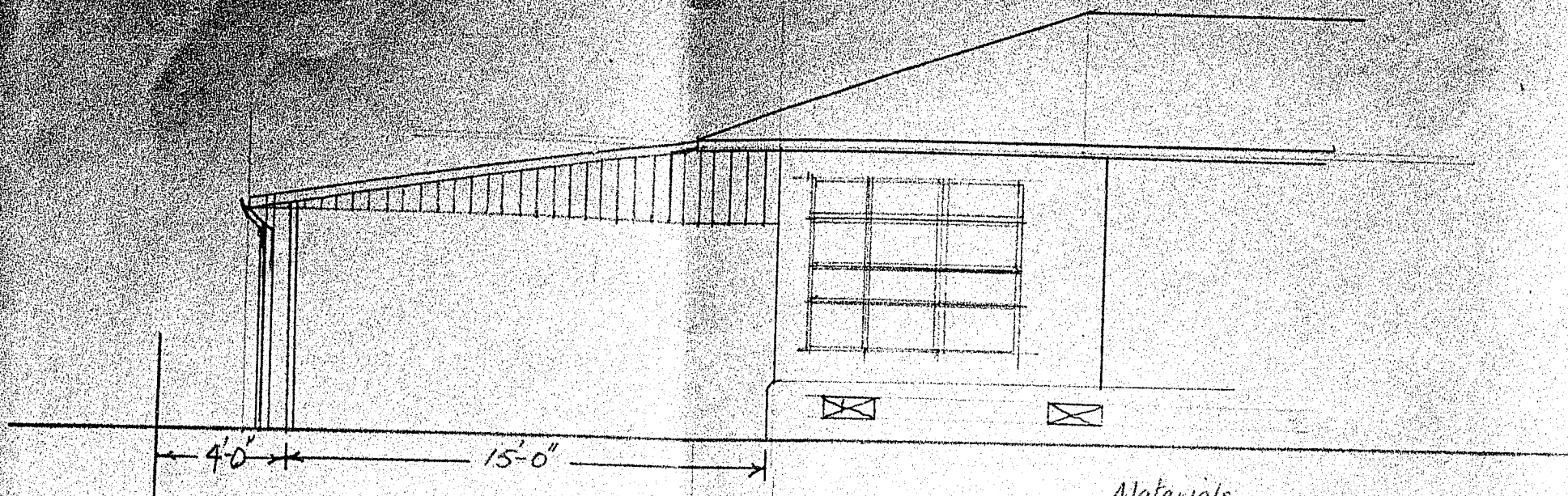
Date 22/5/63

Initials OCJ

Permit No. 47530

Date issued 22/5/63

Initials LF



Proposed carport

4 ft from base to side boundary
 60 ft from front boundary
 60 ft from back boundary
 Spacing 2-6' from boundary

Materials

- 1 1/2" Pipe supports (3 off.)
- 6"x2" Treated Douglas fir Rafter
- 3"x2" " " Pinus Purlins
- Corrugated iron on roof
- 4"x8" Treated Pine beam for rafter support
- or 6"x1" Ship lap boarding

Proposed carport for DM. BRUNETTI
 13 Barclay Ave TE. AROHA

DEY

TE AROHA BOROUGH COUNCIL

APPLICATION FOR PERMIT TO HAVE DRAINAGE OR PLUMBING WORK CARRIED OUT

I/We, the undersigned, hereby make application for permission to have the work described herein, and set out in the plans on the back hereof, and in strict accordance with the "Drainage and Plumbing Regulations," under the Health Act, 1956, carried out in or on the premises owned by

Mr D Brunetti of Barclay Ave

Situated at Barclay Ave 13 Street/Avenue.

Lot No. 2 Section No. Block No. 6.6 D.P. No. 5829 Val No.

CONDITIONS OF PERMIT:

1. No roof or any stormwater is allowed to discharge into a sewer.
2. No roof down-pipe is allowed to be fixed nearer than 6 feet distant from any gulley trap or inspection chamber.
3. All gully trap basins to be built not less than 6 inches in height above ground level.
4. Separate application must be made for all Building Work.

DESCRIPTION OF WORK:

DRAINS: Diameter 4" Length 94 ft.

Inspection points: No. 4 Insp. Chambers Insp. Pipe or Junc.

Fresh air inlets Terminal vents Sewer vents

Describe Gullies. No., size, use

- " W.C.'s and Fittings
- " Urinal and Fittings
- " Baths, Showers and Fittings
- " Basins and Fittings
- " Wash Sink and Fittings
- " Wash Tubs and Fittings
- " Special Fixtures or Work

*Joining existing drainage
to sewer line*

Water Supply

Disposal of Drainage

Signature of H. Brunetti Son (Plumber) Ltd Licensed Plumber.

Signature of H. R. Glover Licensed Drainlayer.

Estimated cost of Sanitary Plumbing Fee Rec. No.

Estimated cost of Drainage £40 or £8.00 Fee \$1.00 Rec. No. 1645

Dated this 9th day of August, 1967

Signature H. Brunetti Son (Plumber) Ltd

Address Burgess St

Te Aroha

FOR OFFICE USE ONLY

Plans and Specifications approved and issue of permit authorised.

Application No.

Permit No.

Approved
H. Brunetti 9/11/67
Inspector.

TE AROHA BOROUGH COUNCIL

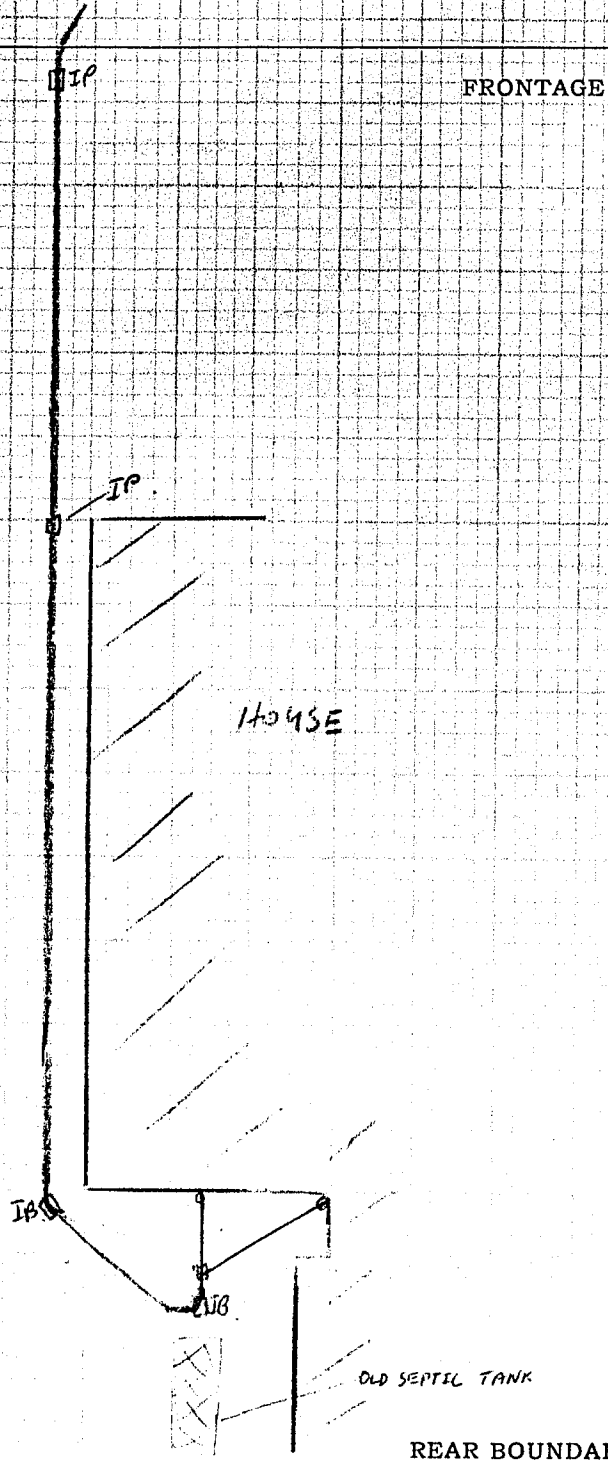
Application No.

PLAN OF DRAINAGE, ETC.

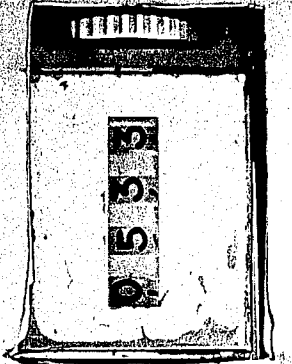
Date Received

NOTE: Show positions of work in relation to buildings, boundaries, etc.

Scale; 1/8" to a foot.
New Sewers: Red.
Old Sewers: Black.
Stormwater: Dotted-Black.



Owner Lot No. Plotted on Plan No.
Street Section No. Initials
D.P. No. Block No. Date
Signature of Drainer



Office Ref.

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- or (b) A water connection, sewer connection, footpath and channel crossing, inspection, or other works detailed and to be undertaken by the Council.

At the property owned by D. Brunette

and occupied by D. Brunette

being house, lot, block

deposited plan reference in Street.

According to the plans, elevations, specifications, etc., deposited in duplicate herewith.

The permit, license or works are required for the purpose of

Addition to house

Estimated value of finished works:

Building £400
Plumbing
Drainlaying
Other works

Total £ 400

Signature of Applicant D. Brunette
Address 13 Barclay Ave. Larkhall

Works approved
W. Barclay
Inspector. 1 / 1 /

Borough Engineer. 1 / 1 /

Fees £ 2

Receipt No. 6623

Date 6.10.65

Initials 6.5

Permit No. 123586

Date Issued 11.10.65

Initials W. Barclay

Specifications for the proposed
new room for Mr D. M. Brunette.

13 Barclay Avenue,
Le Ansha.

Foundations. Walls 5 inch solid reinforced
with a 3 inch concrete slab to form
the floor poured over hard fill.

Framing 4"x2" treated Pine D. & S.

Ceiling Joists 6"x2" selected treated Pine.

Battens 3"x2" treated pine.

Roof. Corrugated iron. Laps painted
and placed over netting wire and
Building paper.

Garge Boards and Laps. Lead edged iron
flashing, angled to suit pitch of roof (3" fall).

Exterior wall sheathing. Shiplap vertical
boarding with all joints primed.

Interior Wall lining. Plaster Plywood $\frac{3}{16}$ "
to a height of 4 feet with Hardboard
above. $\frac{3}{16}$ " Hardboard.

Ceiling $\frac{5}{8}$ " Hardboard.

Joinery One unit consisting of French
doors (2/2'-6" each) and two, 2'4" x 6'-6"
side lights

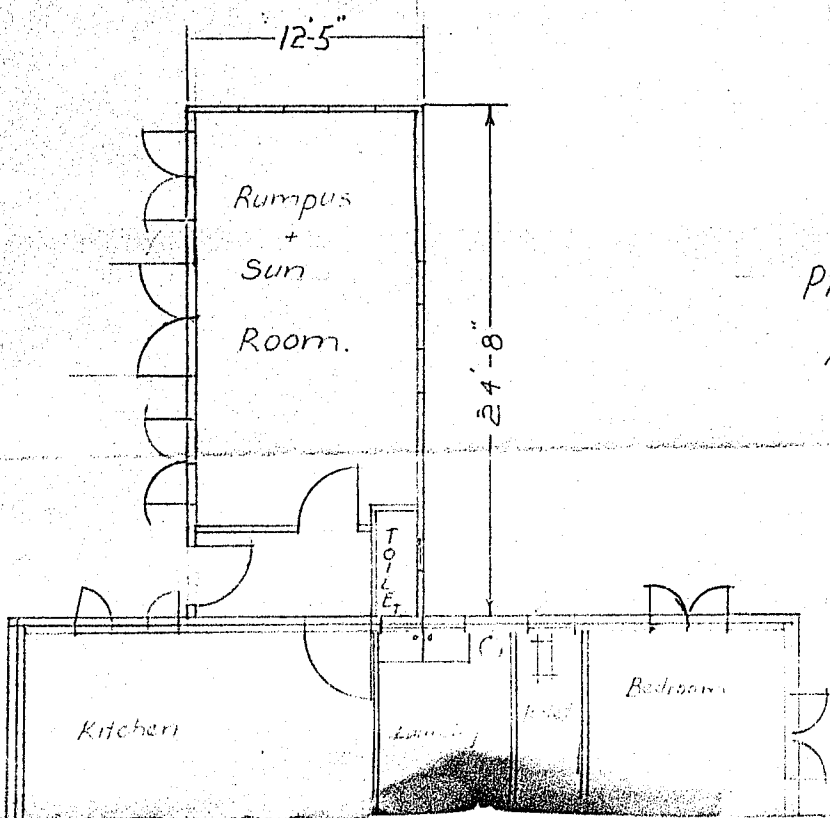
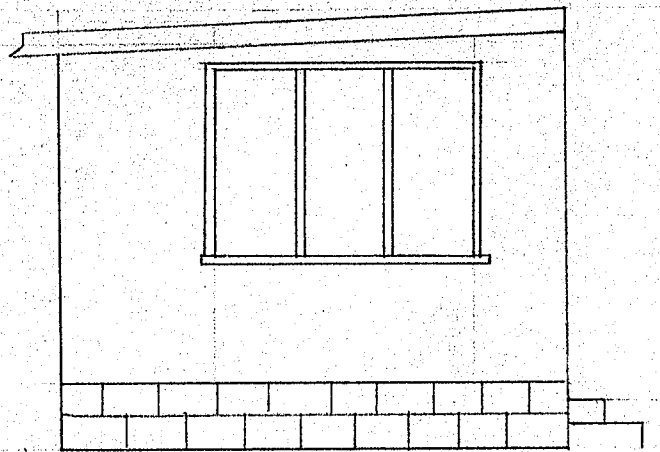
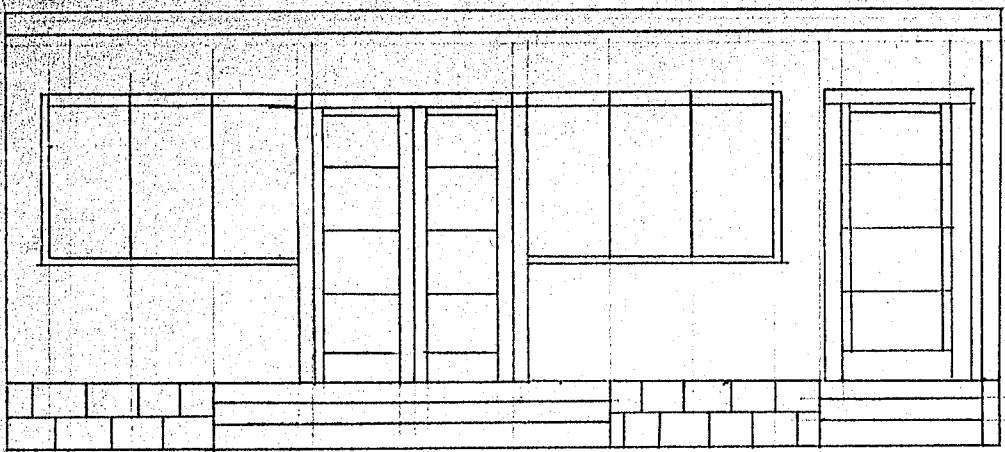
One unit of 3/2'4" x 1'4" glass two lights fixed.

One unit 6'-6" x 4'-6" 3 lights. All
glass fixed.

Plumber to supply and set up the W.C.
bowl and water tank and to lay pipes to
septic tank.

Electrician to install three lights and
one lead point

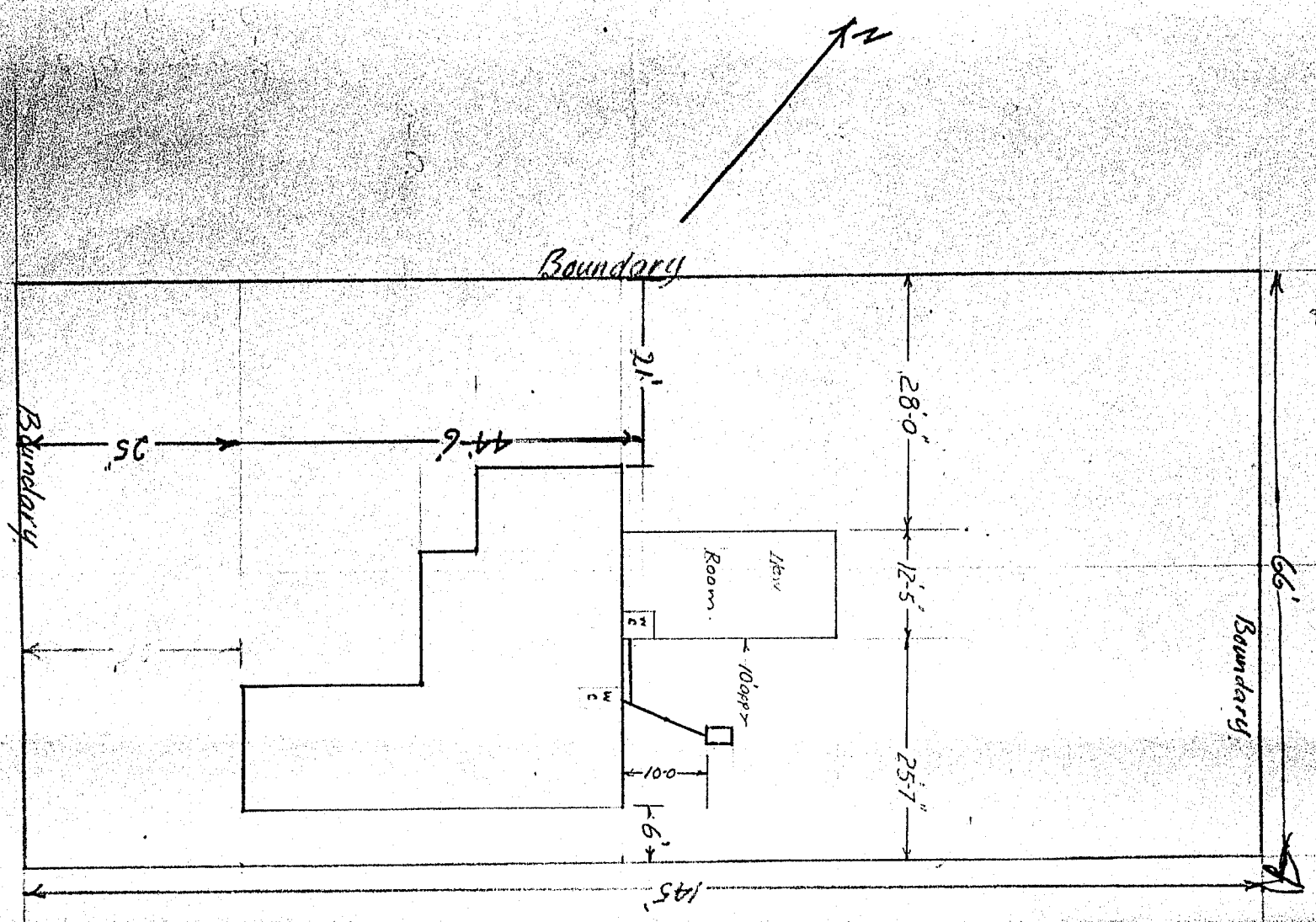
Painting All timber (exterior) to receive three



Proposed new room for
Mr D.M. Brunetti 13 Barclay Avenue
Te Aroha.

Estimated cost £400-0-0

ROADWAY



SITE PLAN

Scale 1/4" = 1'-0" 01-10-6
DAN BIRNBAUM

F4	Practical	10
F3	Theory	15

A Tech.

50 T + P. T100

50 T + P

F3. 25 T + P

T.P. 50.

F4 A 25

F3 A.